

Public Document Pack
South and West Plans Panel

Thursday, 26th October 2023

PowerPoint Presentation

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SOUTH & WEST PLANS PANEL

THURSDAY OCTOBER 26TH 2023

Page 3



Agenda Item 9

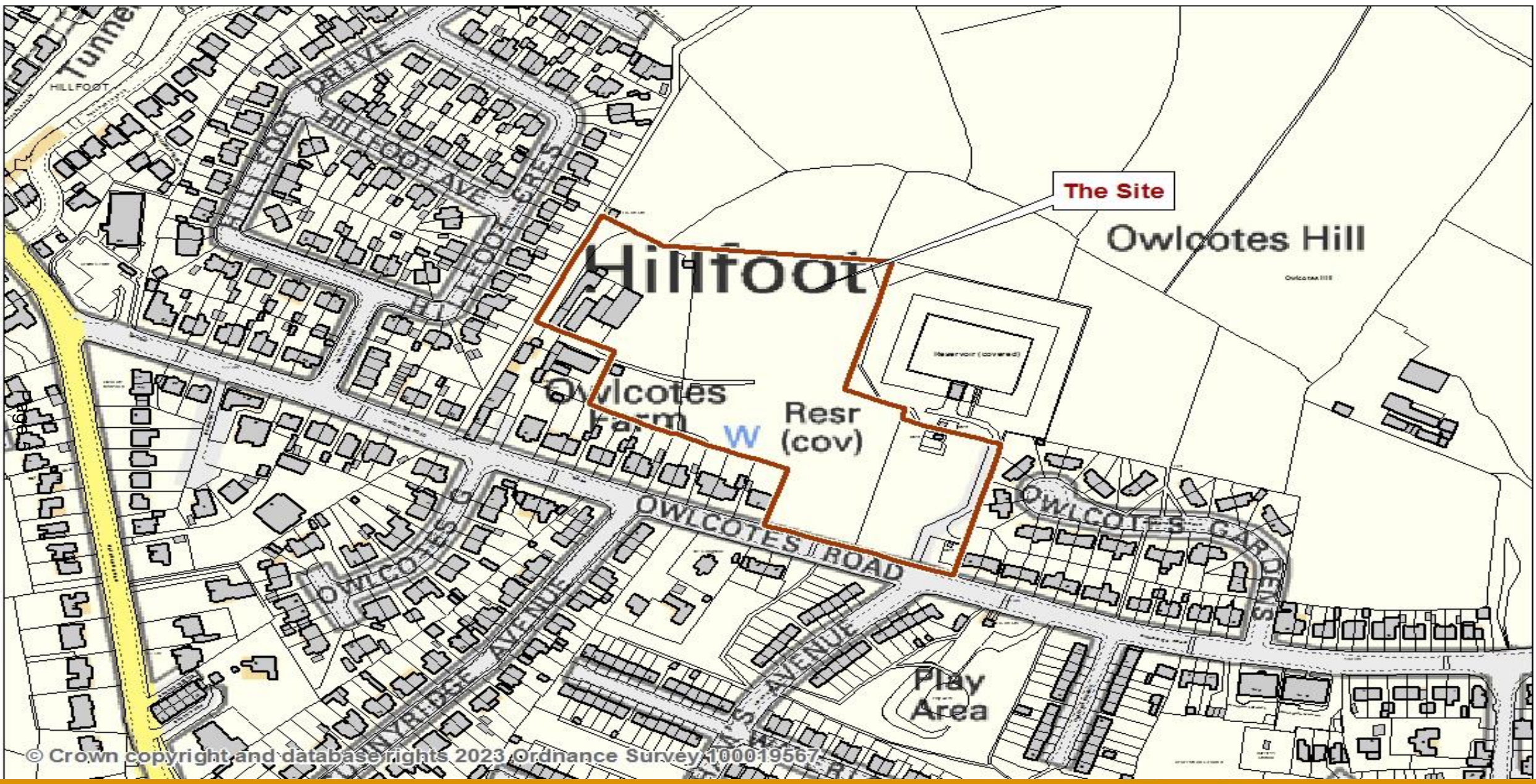
APPLICATION: 22/06335/RM

**PROPOSAL: Reserved matters application
for 50 dwellings and 4 apartments to
outline permission 21/10203/OT**

ADDRESS:

**Land Rear At Owlcotes Road
Pudsey
Leeds**





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Figure 6: View from boundary fence of Parcel B towards western boundary.



Figure 6: Close view of farm buildings with western boundary.



Figure 7: View of telecommunication masts and reservoir north of Parcel B.



Figure 8: View along track from farm buildings towards eastern boundary.





Schedule of Accommodation

Category	Quantity	Area (m²)	Count
Houses			
1B2P House	@58m²		-01no.
2B3P 2 st. house	@70m²		-25no.
2B3P Bungalow (CAT 3)	@80m²		-02no.
3B4P 2 st. house (CAT 2)	@98m²		-12no.
4B6P 2.5 st. house	@120m²		-10no.
Walk-Up Apartments			
1B2P GF	@52m²		-02no.
1B2P FF	@62.3m²		-02no.
Total			-54no.
Site area	- 02.06 ha	- 5.09 acres	
Developable area	- 01.87 ha	- 4.12 acres	
Total Public Open Space	- 0.223 ha	- 0.55 acres	
Density	- 13.11 units/acre	- 32.34 units/ha	

Notes
 Layout dependent upon confirmation of legal site boundary, Statutory Services Information & subject to Highway approval

Drainage strategy subject to detailed design, Phase I & II Geo-technical Survey and Drainage Assessment. Layout assumes gravity led drainage system with no pumping station. Boundary Treatments & Finish floor levels subject to further detailed design.

Layout based on Topographical survey by CT Surveys dwg no 4162/A/1 and by Vision Geomatics dwg no KLD_10_SP. Tree position based tree survey by Brooks report ref.: AR-4098-01.01. Landscape Design subject to Yorkshire Water approval.

- Key:**
- Line of Highwall (Proven)
 - Line of Highwall (Interpreted)
 - 1.1m high metal railing edge protection
 - 1.5m High Timber Fence
 - 1.8m High Timber Fence
 - 1.8m High Brick Piers w/ 0.8m High Brick Dwarf Wall and Timber Fence
 - 0.45m High Timber Knee-rail
 - Existing Dry Stone Wall
 - - - - - Proposed Dry Stone Wall
 - - - - - Indicative line of retainment, heights and design to be confirmed by Engineer.
 - ~ ~ ~ ~ ~ Proposed New Hedge (see landscape design)
 - +++++ Tree root protection fencing as Arboricultural report.
 - Proposed FFL's to be confirmed by Engineer.
 - 1 in 3 batter to Engineers design.
 - Proposed Tree Location
 - 1. Adoptable pumping station to engineers design
 - Existing water mains to be retained with 4m easement to each side.

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 The general contractor is responsible for the verification of all dimensions on site and the applicant is to be informed of any discrepancy.
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 Revision: 1
 Date: 14/05/2023
 Author: MWD/SJH
 Checked: MWD/SJH
 Date: 14/05/2023

Leeds Federated

Drawing Status: preliminary planning information tender construction approval approved/As Built

Scale: 1:500 @ A1
 Date: May 2023
 Drawn/Checked: MWD/SJH
 Title No: 1426/42/198C

**Site Layout
 Owlcotes Road
 Pudsey**







Key:

- Windows without feature number
- Windows with feature number
- Red brick facing brick with feature number and natural finish



Leeds & Federated

Project Name	
Client	
Location	
Scale	
Date	
Author	
Checked	
Approved	
Project No.	
Revision	

Materiality
Owlcotes Road
Pudsey

Agatha WSM Architects





Front Elevation Facing South
1 : 100



Rear Elevation Facing North
1 : 100



Side Elevation
1 : 100



Side Elevation
1 : 100



Roof Plan
1 : 100



Ground Floor Plan
1 : 100

Material Schedule

- 1. PVC Coating/Trim/Fascia Boards, Half Round Mouldings
- 2. GGGI 1 Mouldings approved all sides through coloured uPVC
- 3. Anthracite Grey (RAL 7016) uPVC Window Frames
- 4. RAS 26 External Composite Door Colour To Be Confirmed. Limit to what is available in the area.
- 5. Grey Timber Edge cladding/Composite Roof Tiles
- 6. Black uPVC Down Pipes (External Profile) and Black High Wall Gutters
- 7. Black uPVC Fascias
- 8. Flaking Green Detail (Black T&G uPVC Sills)
- 9. Front metal entrance Anthracite Grey (RAL 7016)
- 10. Frontal metal cladding. Colour to match roof tiles.
- 11. Composite plan-angled roof top with stainless steel cladding
- 12. Green Water Bin
- 13. Green Water Bin
- 14. Grey/Blue Ceramic Cladding
- 15. Leeds tile (using 1200mm stone tile finish) or natural leaf 400mm stone tile (if possible)

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Revisions

Rev	Description	Date	Issued by
P1	Revised drawing with 100% checked 100% checked 100% checked 100% checked	05-04-21	

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Scale 1 : 100 @ A3
Date 24-02-21
Drawn/Checked MRR / SH
1425-42-AWSM-XX-ES-DR-A-219
Status S2 Rev P1

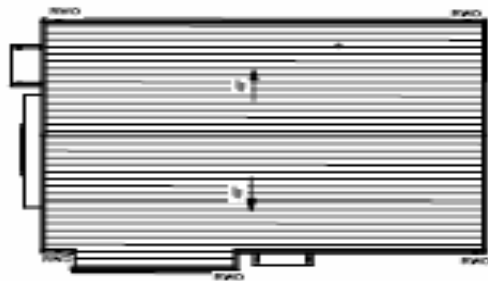
Plots 1&2 G.A.
plans &
Elevations
Owlcotes road, Pudsey

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Scale 1:1, 100g Charles Street, Leeds, LS1 1JL. www.acanthuswsm.com 0113 259 3414 email: acanthus@acanthuswsm.com

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Rev	Description	Date	Issued by
P1	Drawn and checked by MBC/JSH	24-02-23	



Roof Plan
1 : 100



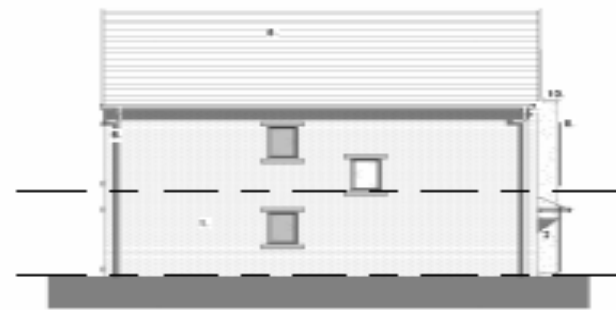
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Side Elevation
1 : 100



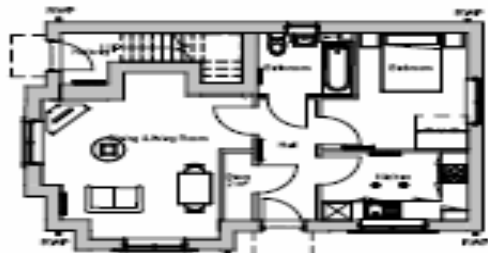
First Floor Plan [Plot 4 & 51]
1 : 100



Rear Elevation
1 : 100



Side Elevation
1 : 100



Ground Floor Plan [Plot 3 & 52]
1 : 100

- Material Schedule**
- 1. LVL Gable End / Wall Brick, White Portland Mortar
 - 2. 200 / 100mm exposed red brick through coloured walls
 - 3. Reddish Grey (RAL 7040) UPVC Window Frames
 - 4. 200/25 / 25mm Concrete Over 100mm To Be Coloured Concrete to match external concrete walls
 - 5. Grey Trip Edge to existing Concrete Footings
 - 6. 200mm UPVC Down Pipe (Colour Profile) and 100mm Half Round Gutter
 - 7. 200mm UPVC Fascias
 - 8. Cladding (Stone Detail) Black 100mm UPVC Soffit
 - 9. Floor made of concrete, Reddish Grey (RAL 7016)
 - 10. Portland cement paving, Colour to match red brick
 - 11. Proprietary plastic glazed canopy with stainless steel fittings
 - 12. Garden Bed
 - 13. Garden Mower Box
 - 14. Garden Concrete Slabbing
 - 15. Landscaping (See also notes, Method Statement and 3D Model for details)

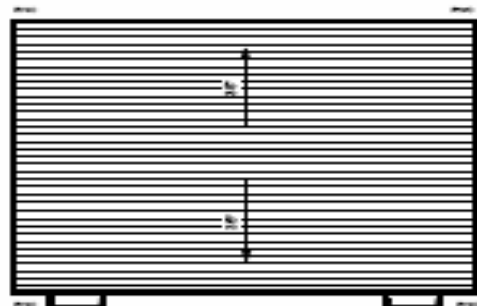
Plots 3&4,
51&52 G.A.
plans &
Elevations
Owlcotes road, Pudsey

Leeds Federated	
Scale	1 : 100 @ A3
Date	24-02-23
Drawn/Checked	MBC / JSH
1428-42-WSM-23-ES-DR-A-211	
Status	S2
Rev	P1

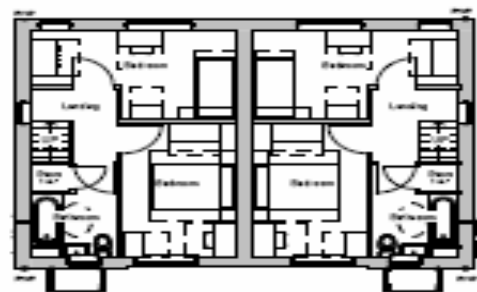
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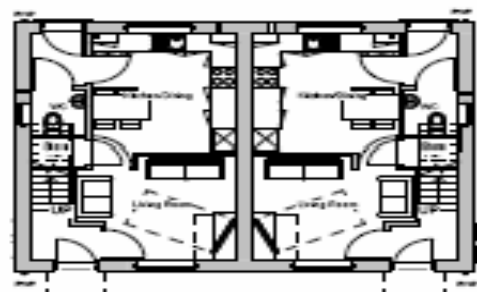




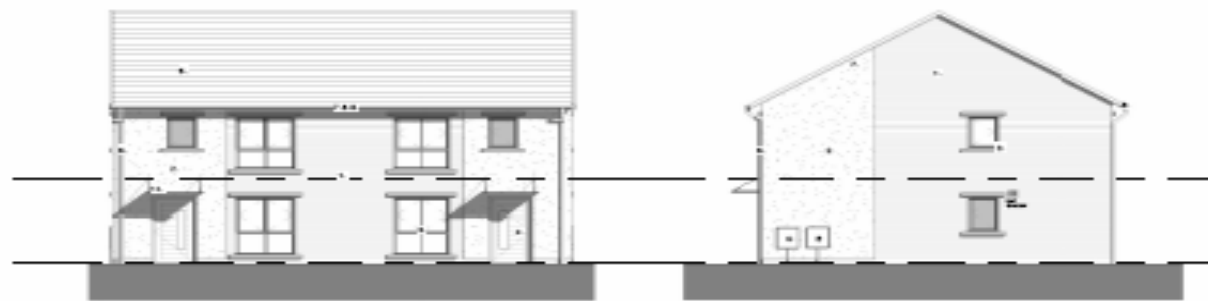
Roof Plan
1 : 100



First Floor Plan
1 : 100



Ground Floor Plan
1 : 100



Front Elevation
1 : 100

Side Elevation
1 : 100



Rear Elevation
1 : 100

Side Elevation
1 : 100

Material Schedule

1	Quality Red Faced Brick, with Natural Stone
2	320 x 70mm upstand of white through roof and gable
3	Black side Gey (24x 20x 20) UPVC Window Frames
4	UPVC External Composite Door Colour To Be Confirmed. Lateral Swivel to permit access to side
5	Grey Flat Edge UPVC Window Colour To Be Confirmed
6	Black UPVC Down Pipes (Grade Porous) and Black Rainwater Gutters
7	Black UPVC Porch
8	Black UPVC Front Door
9	Black UPVC Back Door
10	Black UPVC Window Frames
11	Black UPVC Window Frames
12	Black UPVC Window Frames
13	Black UPVC Window Frames
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99	Black UPVC Window Frames
100	Black UPVC Window Frames

Plots 43,44 & 53,54 G.A. plans & Elevations

Owlcotes road, Pudsey

Leeds Federated	
Scale	1 : 100 @ A3
Date	24-02-23
Drawn/Checked	MBSC / JSH
1428-42-WSM-2.0-ES-DR-A-231	
Stage	S2
Rev	P2



Plot 11, 210g Charles Beck, Leeds, LS2 8LJ | www.aacanthus.com | 0113 2083414 | enquiries@aacanthus.com



Front Elevation
1 : 100

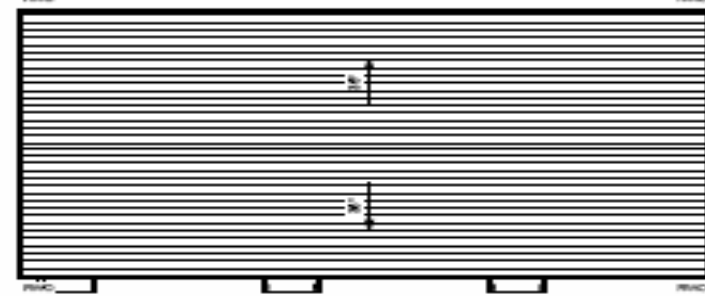


Rear Elevation
1 : 100



Side Elevation
1 : 100

Side Elevation
1 : 100



Roof Plan
1 : 100



First Floor Plan
1 : 100



Ground Floor
1 : 100

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Revisions

Rev	Description	Date	Issued by
P1	Drawn and checked in accordance with the current edition of the property.	03/04/20	WJG/CL

- Material Schedule
- 1.1. Quality Roof Tiles with Natural Colours
 2. 125mm thick approved double brick external walls
 3. 100mm thick brick (N/A) with 50mm EPS insulation
 4. 125mm thick concrete floor slab to the ground level (N/A) with 50mm EPS insulation
 5. 100mm thick EPS insulation concrete floor slab
 6. 125mm thick EPS insulation concrete floor slab
 7. 125mm EPS insulation
 8. 125mm EPS insulation concrete floor slab
 9. 125mm EPS insulation concrete floor slab
 10. 125mm EPS insulation concrete floor slab
 11. 125mm EPS insulation concrete floor slab
 12. 125mm EPS insulation concrete floor slab
 13. 125mm EPS insulation concrete floor slab
 14. 125mm EPS insulation concrete floor slab
 15. 125mm EPS insulation concrete floor slab



Scale	As indicated @A3
Date	24-02-20
Drawn/Checked	WJG/CL
1425-42-WSM-SX-ES-DR-A-219	
Sheet	S2
Rev	P1



Plots 45-50
G.A. plans & Elevations
Owlcotes road, Pudsey

Scale 1:1, 200g Charles Street, Leeds, LS2 8LJ www.acanthuswsm.com 0113 232 3414 email: info@acanthuswsm.com















CONSTRUCTION NOTES

1. All work shall be in accordance with the current edition of the Building Regulations.

2. The design shall comply with the current edition of the Building Regulations.

3. The design shall comply with the current edition of the Building Regulations.

4. The design shall comply with the current edition of the Building Regulations.

5. The design shall comply with the current edition of the Building Regulations.

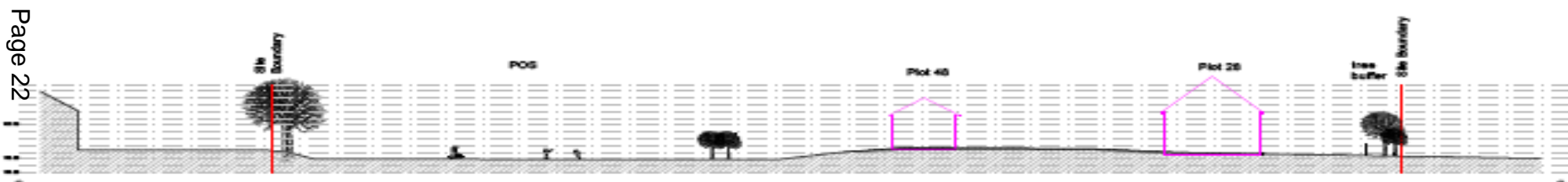
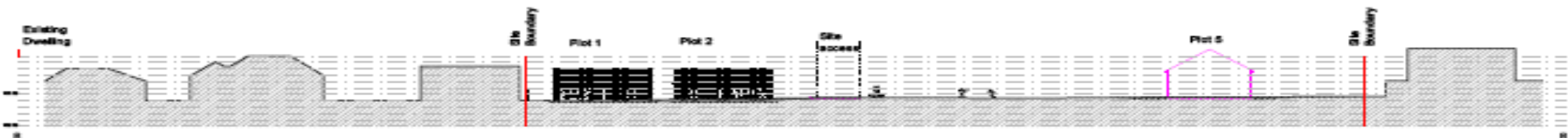
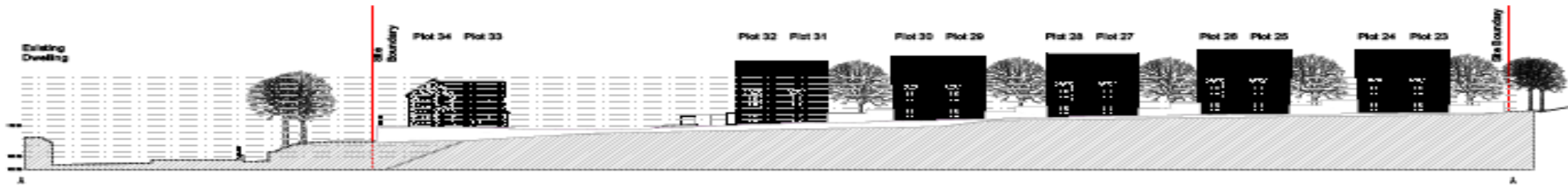
6. The design shall comply with the current edition of the Building Regulations.

7. The design shall comply with the current edition of the Building Regulations.

8. The design shall comply with the current edition of the Building Regulations.

9. The design shall comply with the current edition of the Building Regulations.

10. The design shall comply with the current edition of the Building Regulations.



Page 22

Proposed
Site Sections
Owlcotes Road
Pudsey

Leeds & Federated

Project Name	11260 @ #1
Client	PLC/202
Drawn by	MHC/202
Checked by	MHC/202
Date	14/03/2020

Acanthus
WSM
Architects

Schedule of Accommodation

Houses	Area	Count
1B2P House	@58m ²	-01no.
2B3P 2 st. house	@70m ²	-25no.
2B3P Bungalow (CAT 3)	@80m ²	-02no.
3B4P 2 st. house (CAT 2)	@86m ²	-12no.
4B6P 2 st. house	@120m ²	-10no.

Walk-Up Apartments	Area	Count
1B2P GF	@52m ²	-02no.
1B2P FF	@82.3m ²	-02no.

Total -54no.

Site area	- 02.06 ha	- 5.09 acres
Developable area	- 01.67 ha	- 4.12 acres
Total Public Open Space	- 0.223 ha	- 0.55 acres
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Notes
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Drainage strategy subject to detailed design, Phase I & II Geo-technical Survey and Drainage Assessment. Layout assumes gravity led drainage system with no pumping station. Boundary Treatments & Finish floor levels subject to further detailed design.

Layout based on Topographical survey by CT Surveys dwg no 4166JAV1 and by Vision Geomatics dwg no KLD_10_SF. Tree position based tree survey by Brooks report ref : AR-4098-01.01. Landscape Design subject to Yorkshire Water approval.

- Key:
- Line of Highwall (Proven)
 - Line of Highwall (Interpreted)
 - 1.1m high metal railing edge protection
 - 1.5m High Timber Fence
 - 1.8m High Timber Fence
 - 1.8m High Brick Piers w/ 0.6m High Brick Dwarf Wall and Timber Fence
 - 0.45m High Timber Knee-rail
 - Existing Dry Stone Wall
 - - - Proposed Dry Stone Wall
 - - - Indicative line of retainment, heights and design to be confirmed by Engineer.
 - Proposed New Hedge (see landscape design)
 - Tree root protection fencing as Arboricultural report.
 - Proposed FFL's to be confirmed by Engineer.
 - 1 in 3 batter to Engineers design.
 - Proposed Tree Location
 - 1. Adoptable pumping station to engineers design
 - Existing water mains to be retained with 4m easement to each side.

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Revision: 13/01/23 WSM/SH
Drawn: 13/01/23 WSM/SH
Checked: 13/01/23 WSM/SH
Approved: 13/01/23 WSM/SH
Date: 13/01/23
Scale: 1:500 @ A1
Drawing No: 1426.42.108C

Leeds Federated

Drawing Status	Information	Approval
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<input type="checkbox"/> information	<input type="checkbox"/> construction	<input type="checkbox"/> works to start
<input type="checkbox"/> approval	<input type="checkbox"/> works to start	<input type="checkbox"/> works to start

Date: 1:500 @ A1
Date: May 2023
Drawn/checked: MWC/SH
Drawing No: 1426.42.108C

Site Layout
Owlcotes Road
Pudsey



Sheet 11, The Orchard, 25mg Thomas Street, Leeds LS14 6SL TEL: 0113 239 2414. © Max acanthus@acanthuswsm.com

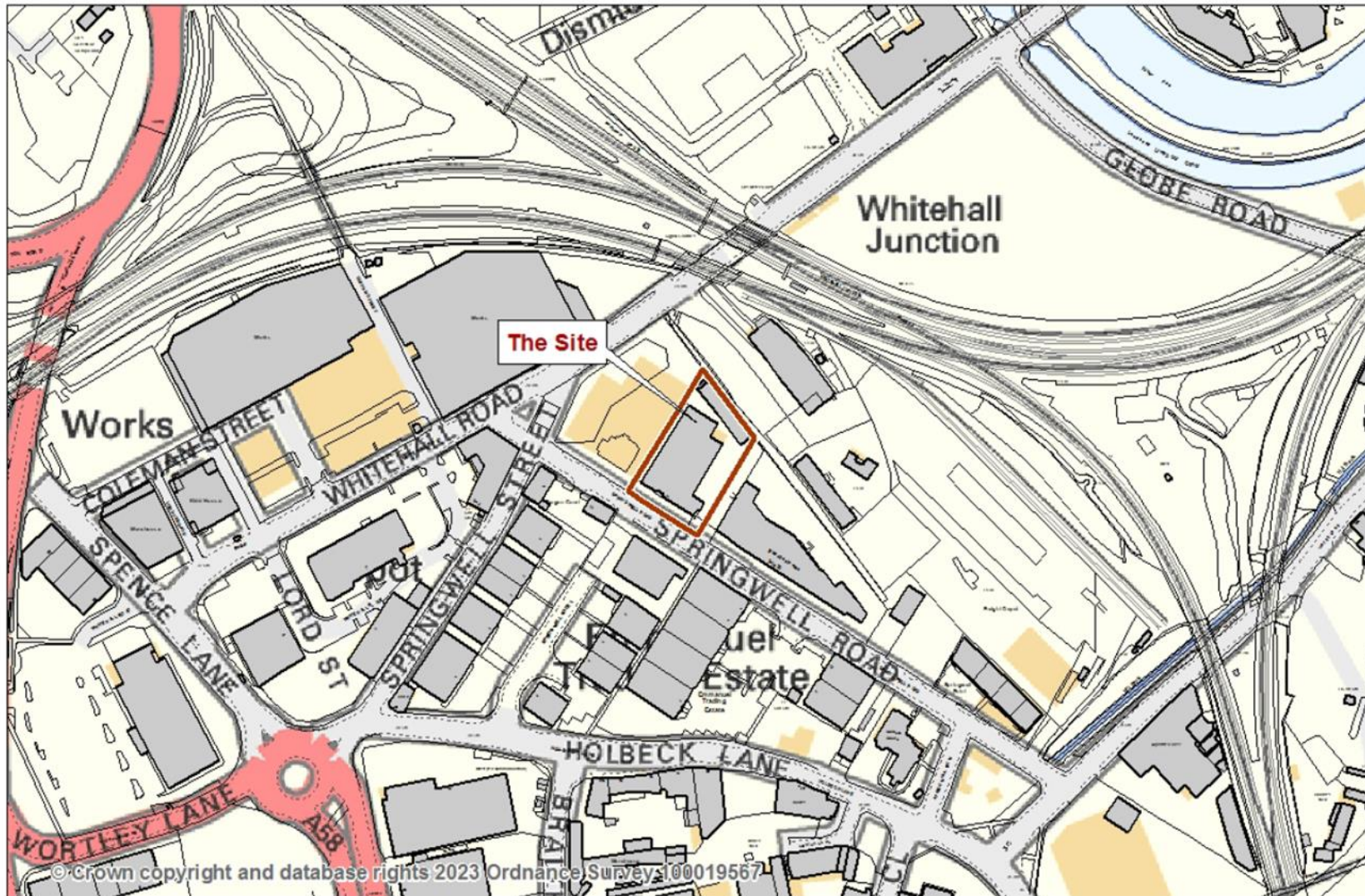
APPLICATION: 20/02710/FU

PROPOSAL: Demolition of existing building and construction of a 30 Storey residential development totalling 345 apartments with ancillary commercial/community space, landscaping, car and cycle parking and external and internal amenity space

ADDRESS:

**Cartwright House
Springwell Road
Holbeck
Leeds
LS12 1AX**





PLANS PANEL PRESENTATION

SCALE 1:2500





PLANS PANEL PRESENTATION

SCALE 1:2500

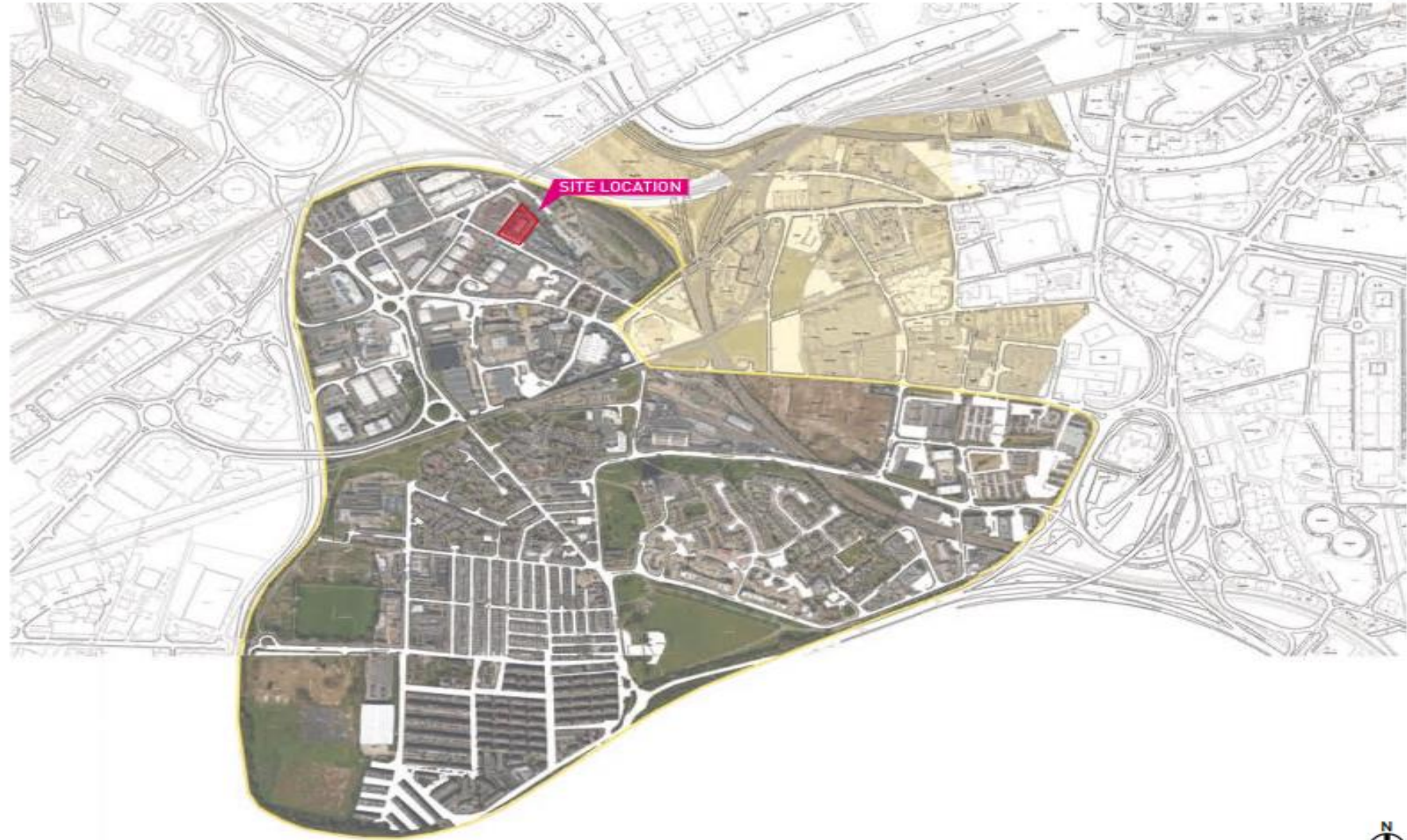


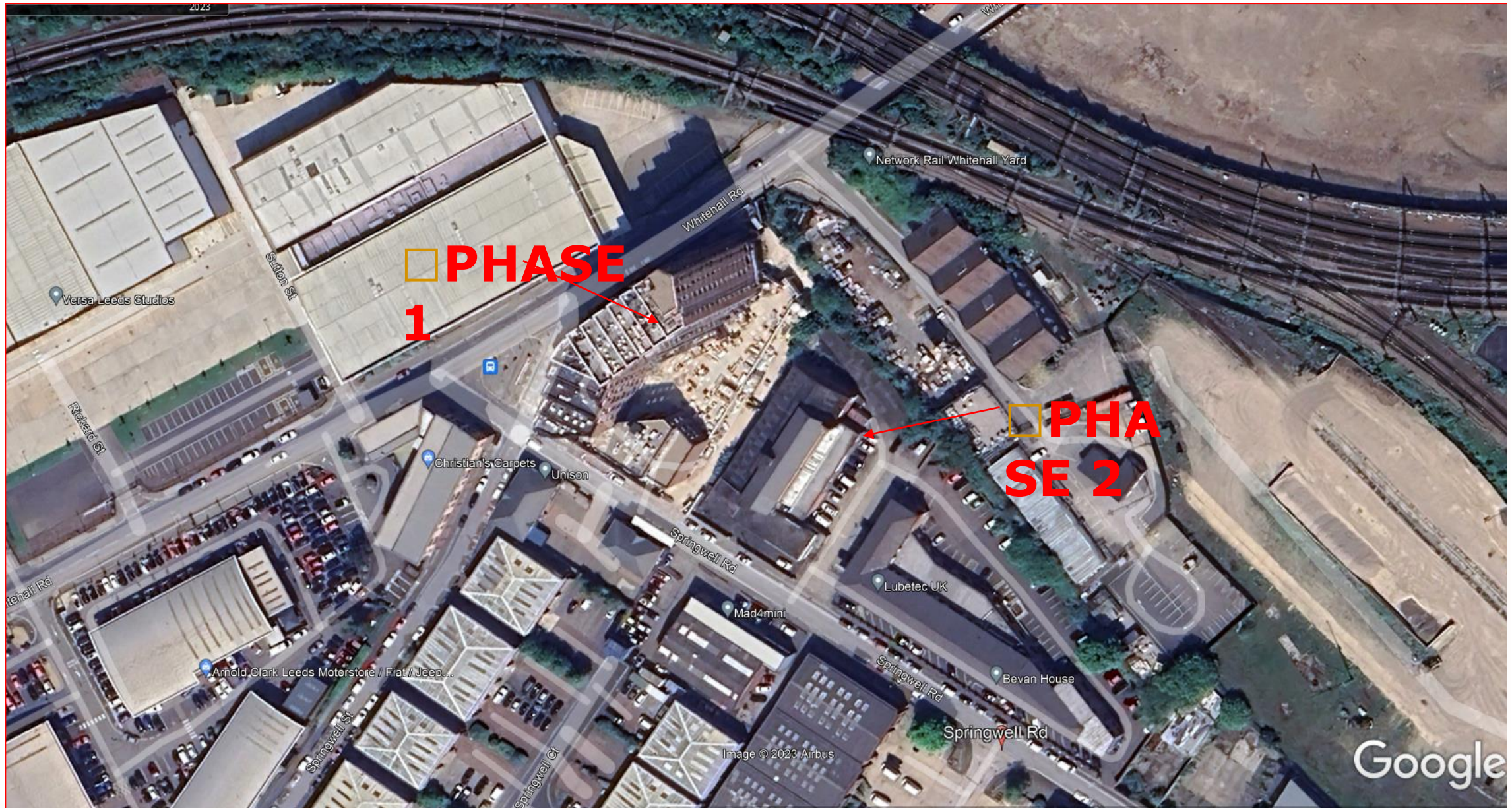
3.0 HOLBECK NEIGHBOURHOOD PLAN

HOLBECK NEIGHBOURHOOD PLAN

KEY

- Site Boundary
- Holbeck Urban Village
- Holbeck Neighbourhood











□ EMERGING
CONTEXT



FUTURE CONTEXT - NTS

4.3 SCALE STUDY

EXISTING CONDITION - Whitehall Road Area and Holbeck Urban Village

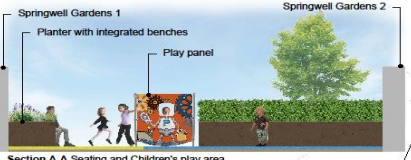


FUTURE CONDITION - Whitehall Road Area and Holbeck Urban Village





Rotator play equipment



Section A-A Seating and Children's play area



Section B-B Integrated benches and raised planters



Section C-C Seating, benches and wind mitigation features

KEY

Ground Level

- Blumen macadam: Decking grade, with gray capping to match paving
- Blumen macadam: Vehicular grade, with gray capping to match paving
- Concrete plank paving: Random course 600x600x20mm, feature finish, see brick shades to match building
- Dimensional planting: Sited by Materials
- Concrete base: Surf with 100mm granite, 400mm topsoil over 100mm subsoil
- Evergreen tree in soft landscape: 6.0m tall x 3.0m diameter canopy spread, 400mm topsoil over 400mm subsoil
- Evergreen tree in hard landscape: 6.0m tall x 3.0m diameter canopy spread with 100mm topsoil over 400mm subsoil. To include irrigation system, see separate underground paving and paving artificial tree and
- Artificial trees to Engineers specification, in accordance with Architectural Amendments Ltd requirements (6.0m tall, 3.0m crown spread and 2.0m clear height). Artificial trees to replicate Quercus ilex

Podium Level

- Composite decking system, light weight, laid flush with adjacent plank paving, 100mm board finish
- Well pour rubber crumb safety surfacing laid to 100mm depth, F10 (Class B) and 'Sky Blue' risk or similar
- Ornamental planting: 800mm high steel Vase Rapid Edge Logic plant, 400mm topsoil over lightweight subsoil
- Arboreal turf (Thames Arena or similar approved) laid on 100mm lightweight top soil with galvanneal steel edging
- Pre-green: light weight custom matting for biodiversity and low maintenance, laid over 100mm lightweight topsoil
- Plank paving, random course with a mixed grey colour palette
- 500mm wide flush gravel maintenance strip, grey colour to match building, with galvanneal steel edging
- FSC timber 'Planer' table and benches by Logis or equal approved
- FSC timber 'Planer' integrated benches by Logis or equal approved
- 1.2m high evergreen hedge planted in 600mm high Vase Rapid Edge planter
- Evergreen tree: 3.0m tall x 2.0m diameter canopy spread planted in 600mm high raised planter
- Artificial trees to Engineers specification, in accordance with Architectural Amendments Ltd requirements (3.0m tall, 2.0m crown spread). Artificial trees to replicate Pinus nigra

Wind Mitigation

Mitigation measures shown are indicative of those specified in the wind microclimate report, to be referenced for further details.

- 75% solid wind screens 13.1m to 4.1m high
- 2.1m high screen partitions between podiums
- 50% solid wind baffles, 4m x 4m at 30° incline
- Artificial trees to Engineers specification, in accordance with Architectural Amendments Ltd requirements
- Public access exclusion zone

Design Features

- Potential connection points with Springwell Gardens 1 podium area
- 100% overhead cable canopy
- Unobstructed access to parking
- Children's play area with well pour safety surfacing. Equipment includes:
 - 1m spring for tree users;
 - 1m spring for one user; and
 - 1m play panel

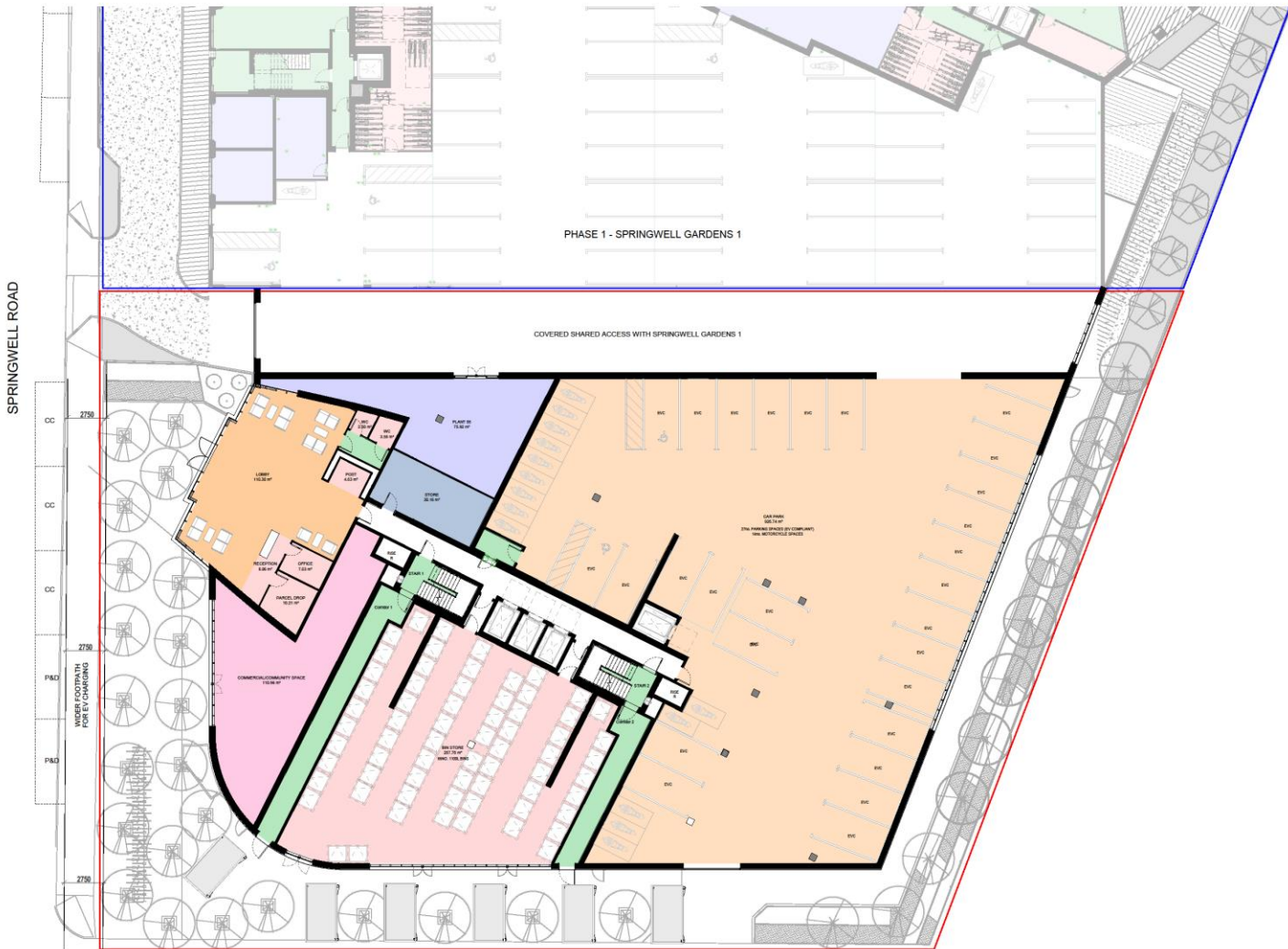
CityLife Limited
Springwell Gardens 2
Springwell Road, Leeds
Landscape Masterplan

A1 1:150 23.08.23 CD NR

130-01-D1 H

DRaW

Proposed Level 00 (Ground Floor)
1:100



Note: This is a colour drawing. In order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour.

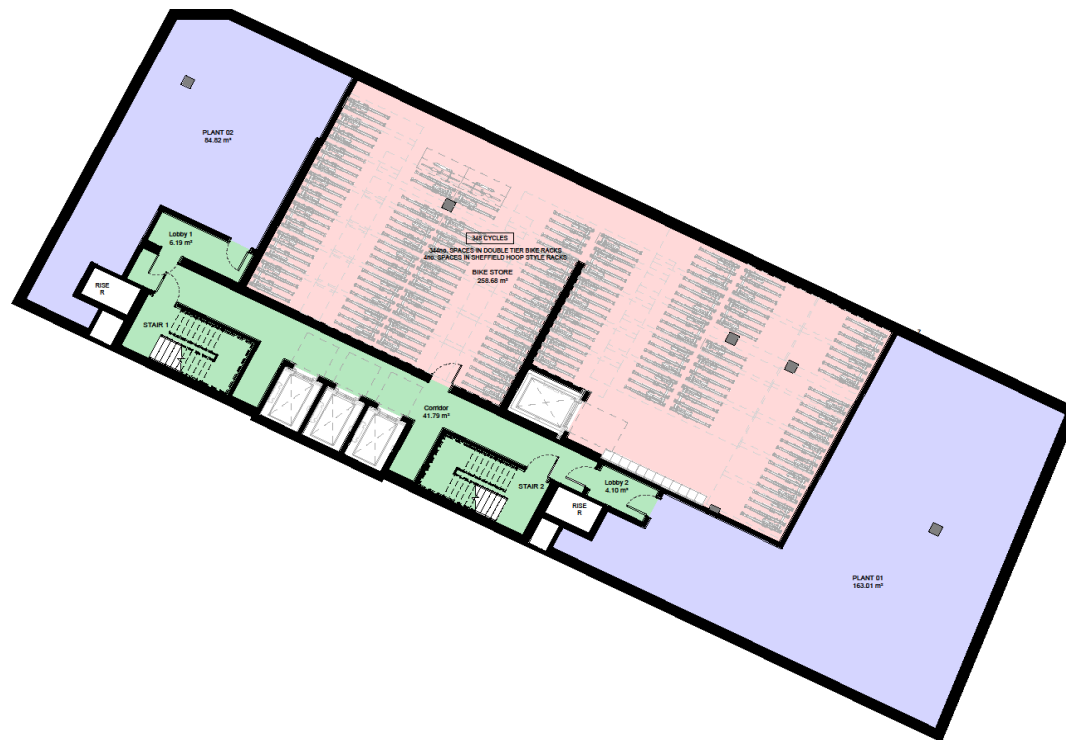
KEY
 - SITE BOUNDARY
 - ADDITIONAL SITE OWNERSHIP BOUNDARY

#	Landmark Construction	04/05/21
#	UK 2020 Planning Service	04/05/21
#	Architectural Services Ltd	04/05/21
#	Architectural Services Ltd	04/05/21
#	Architectural Services Ltd	04/05/21
#	Architectural Services Ltd	04/05/21



NICK BROWN ARCHITECTS
 Nick Brown Architects
 100-102
 The Arcade
 100-102
 100-102
 100-102
 100-102

// Planning	
Project	Springwell Gardens 1
Client	Leeds City Council
Proposed Floorplan Level 00	1:100
Date	10/06/22
Author	ADJ
Check	ADJ
Drawn	ADJ
Scale	1:100
Sheet	2016-119-P251-F



Proposed Level -01 (Basement)
1 : 100

NOTES

Consultant must verify all dimensions on site before commencing any work or any storage.

Proposed floorplan is shown in red and should be checked for any changes to the building area to any other drawings.

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Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour

B July 2022 Planning Amendment 20/07/22
A Responses to planning comments 04.08.22

citylife

CLIENT

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1000 THE CUBE
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// Planning

PROJECT	Springwell Gardens II Springwell Road, Leeds	DATE	10/06/22
SCALE	1 : 100		
TITLE	Proposed Floorplan Level -01	APPROVED BY	LM
		CHECKED BY	NB
PROJECT REF	2016-119	FRAME SIZE	A1
DRAWING DOCUMENT REF:	2016-119-P250-B		



Proposed Level 01 (Podium)
1:100

Scale: 1:100
 Note: This is a colour drawing. In order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour.

KEY
 - SITE BOUNDARY
 - ADDITIONAL SITE OWNERSHIP BOUNDARY

DATE: 22/05/2016
 DRAWN BY: J. BROWN
 CHECKED BY: J. BROWN
 APPROVED BY: J. BROWN



NICK BROWN ARCHITECT
 100% LOCAL
 100% SUSTAINABLE
 100% COMMUNITY
 100% CREATIVITY

Project: Springwell Gardens II
 Location: Springwell Road, Leeds
 Scale: 1:100
 Date: 2016-11-01
 Project No: 2016-119-P252-D

7.11 POLICY H5 - AFFORDABLE

The proposal provides 7% on site affordable housing units; 24 units in total (mix of 1-bed, 2-bed and 3-bed units, located on floors 02,03 & 04.

PROPOSED 2ND & 3RD FLOORS

KEY

 - AFFORDABLE UNITS

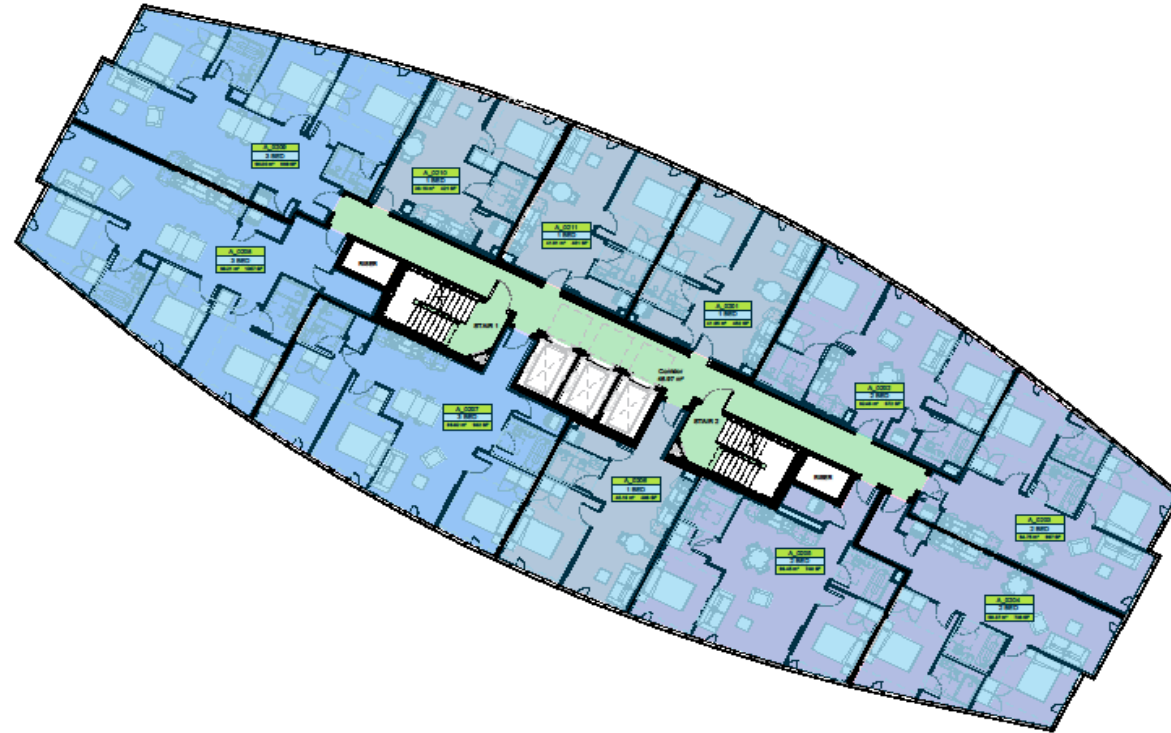
PROPOSED AFFORDABLE UNITS

	SQM	SQFT	BEDS
A201	41.9	451	1
A202	42.7	475	2
A203	44.7	496	2
A204	44.0	488	2
A205	48.3	535	2
A206	45.1	485	1
A207	86.6	932	3
A208	98.2	1057	3
A209	90.0	969	3
A210	39.1	421	1
A211	41.9	451	1
A301	41.9	451	1
A302	42.7	475	2
A303	44.7	496	2
A304	44.0	488	2
A305	48.3	535	2
A306	45.1	485	1
A307	86.6	932	3
A308	98.2	1057	3
A309	90.0	969	3
A310	39.1	421	1
A311	41.9	451	1

SUMMARY: FLOORS 02 & 03

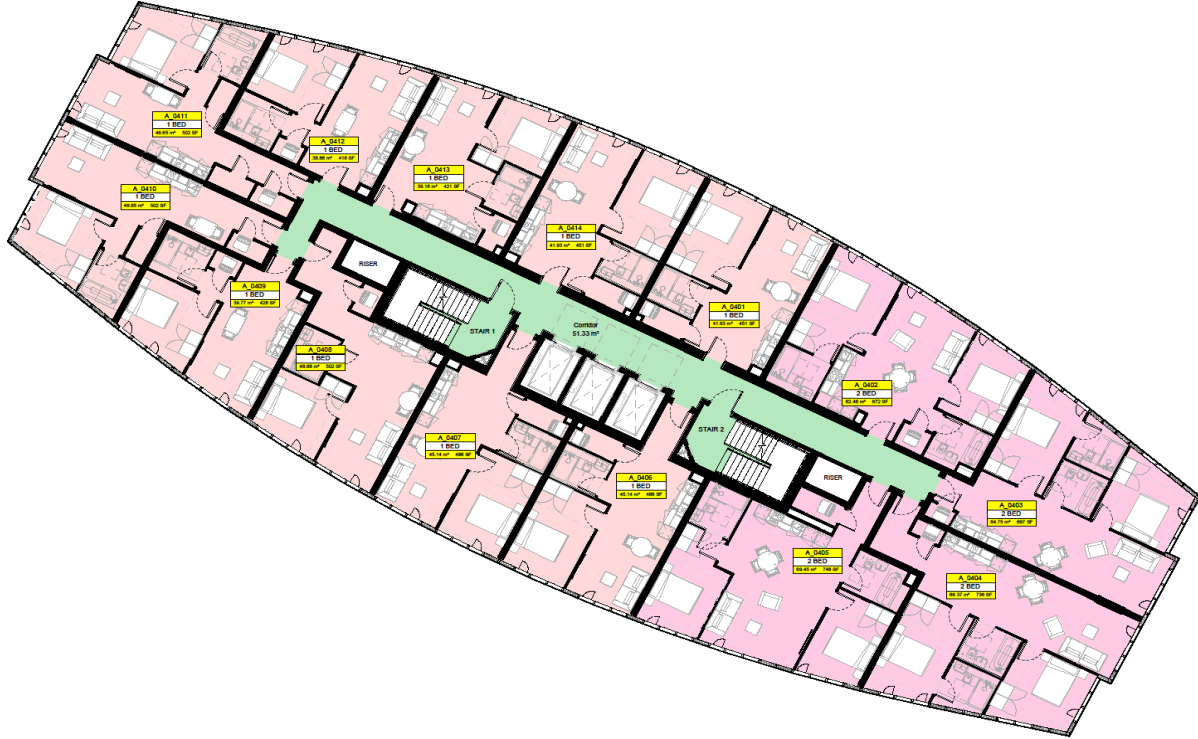
	TOTAL NO.
1 BEDS	8
2 BEDS	8
3 BEDS	6

TOTAL NO.OF AFFORDABLE UNITS 22



AFFORDABLE HOUSING - NTS





Proposed Levels 04 - 14
1:100

NOTES

Consultation with other disciplines and with existing work shall be undertaken at all stages of the design.
 All drawings shall be submitted to the Council for approval. It is the responsibility of the client to ensure that all drawings are submitted in accordance with the requirements of the Council.
 This drawing is to be used for the purposes of the planning application only. It is not to be used for any other purpose without the written consent of the client.
 The client shall be responsible for ensuring that all drawings are submitted in accordance with the requirements of the Council.

Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour

A July 2023 Planning Amends 25/07/23



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 nba@nickbrownarchitects.com
 www.nickbrownarchitects.com
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// Planning

PROJECT	Springwell Gardens II Springwell Road, Leeds	DATE	10/06/22
SCALE	1:100	NO. OF SHEETS	1
WORK	Proposed Floorplan Level 04 - 14	CLIENT	LM
SCALE PROJECT REF	2016-119	DRAWN	NB
DATE	2016-119-P254-A	REVISIONS	

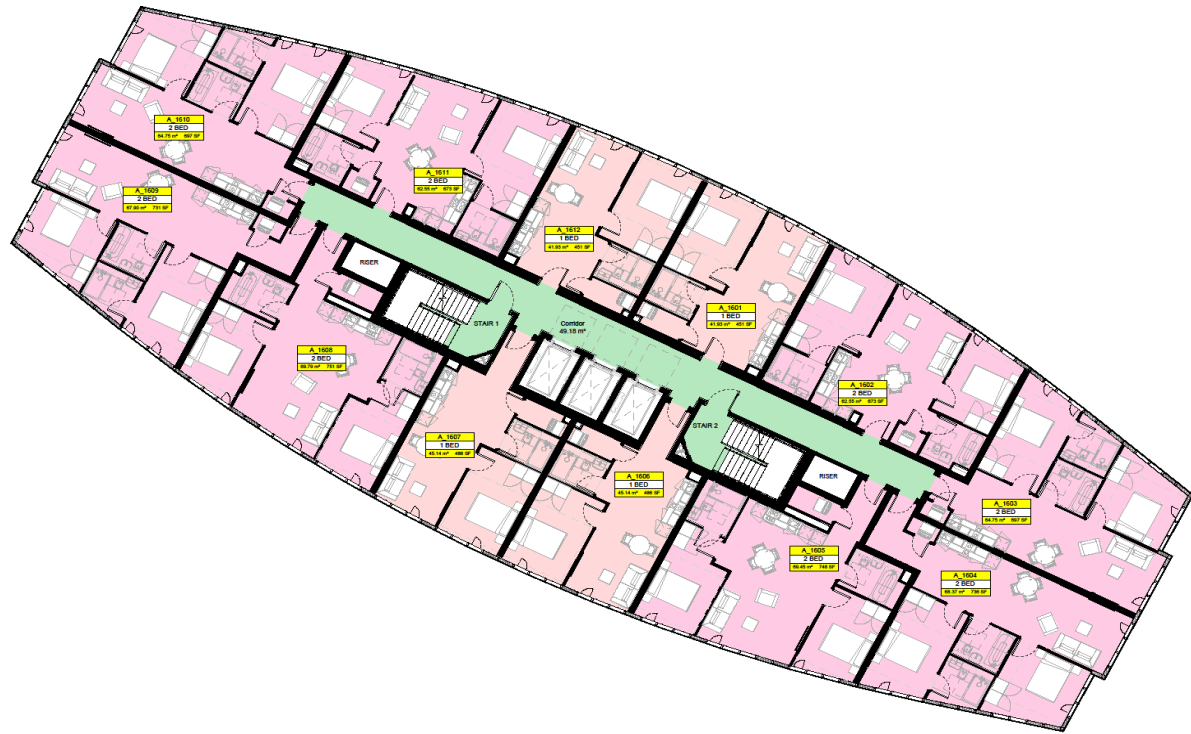
NOTES

Developers shall verify all dimensions of the below concerning any wall or slab thickness.

Read any dimensions which contradict with the above. First reading always the smaller value to any wall thickness and the smallest value for wall thickness.

Do not add dimensions to the above for the building. Do not mark the drawing. Drawing based on drawings, specifications, regulations and standards. Dimensions are approximate. Do not use for construction purposes. Measurements, Regulations 2016 are used as a basis. A safety file has been produced.

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Proposed Levels 16 - 25
1 : 100

A July 2023 Planning Amends 28/07/23



CLIENT

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 25-27 The Calk
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// Planning

PROJECT Springwell Gardens II
 Springwell Road, Leeds

DATE 10/06/22

SCALE 1 : 100

TITLE Proposed Floorplan Levels 16-25

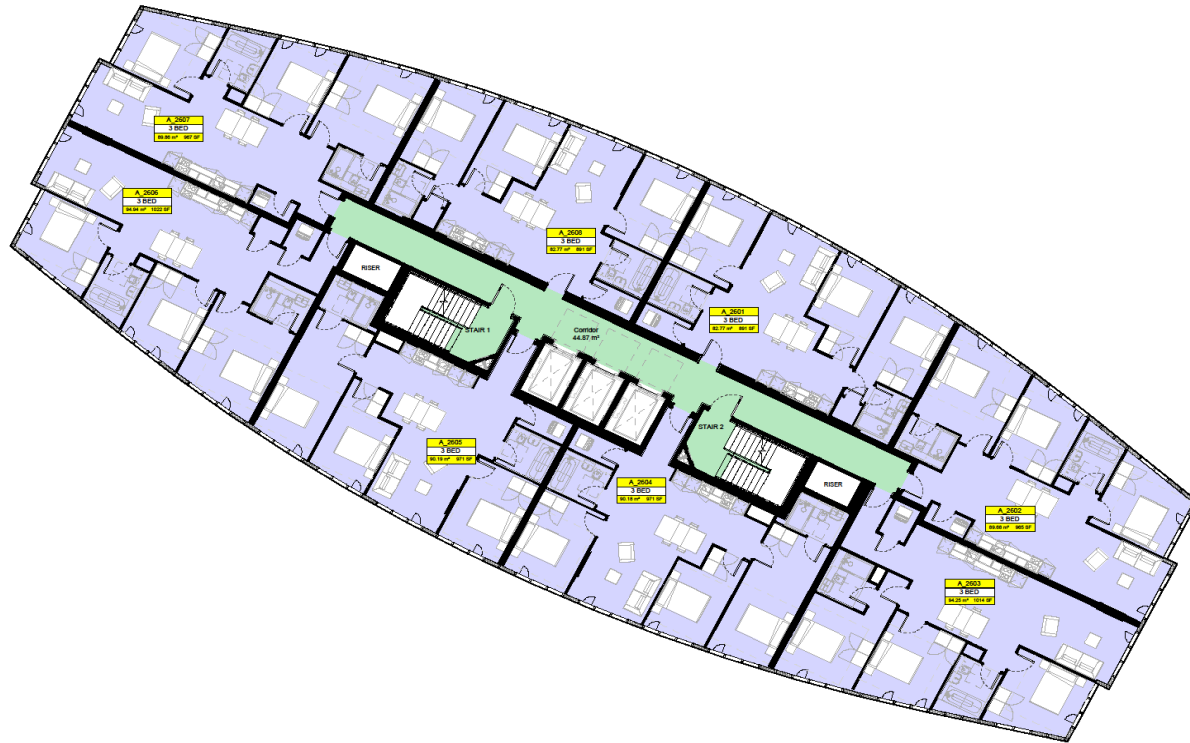
PROJECT LM

DATE NBS

ISSUE NO 2016-119

PROJECT NO A1

ISSUE NO 2016-119-P256-A



Proposed Levels 26 - 28
1:100

NOTES
 1. All dimensions are in millimetres unless otherwise stated.
 2. All dimensions are to the centre line of the wall unless otherwise stated.
 3. All dimensions are to the face of the wall unless otherwise stated.
 4. All dimensions are to the face of the wall unless otherwise stated.
 5. All dimensions are to the face of the wall unless otherwise stated.
 6. All dimensions are to the face of the wall unless otherwise stated.
 7. All dimensions are to the face of the wall unless otherwise stated.
 8. All dimensions are to the face of the wall unless otherwise stated.
 9. All dimensions are to the face of the wall unless otherwise stated.
 10. All dimensions are to the face of the wall unless otherwise stated.

0 1 2 5 10 m

Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour

A July 2023 Planning Amends 28/07/23



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 © Nick Brown Architects Ltd 2019

// Planning

PROJECT	Springwell Gardens II Springwell Road, Leeds	DATE	10/06/22
TITLE	Proposed Floorplan Level 26 - 28	SCALE	1:100
DATE PROJECT REF	2016-119	AUTHOR	LM
DRAWING / DOCUMENT REF.	2016-119-P257-A	CHECK	NE
		PAPER SIZE	A1
		DATE PLOTTED	



Proposed Level 29
1:100

NOTES

Contractor must verify all dimensions on the plans concerning any work in situ or existing.

Proposed work shall be carried out in accordance with the contract. It is the contractor's responsibility to ensure that the work is carried out in accordance with the contract. It is the contractor's responsibility to ensure that the work is carried out in accordance with the contract.

0 1 2 5 10 m

Note: This is a colour drawing. In order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour

A July 2023 Planning Amends 25/07/23



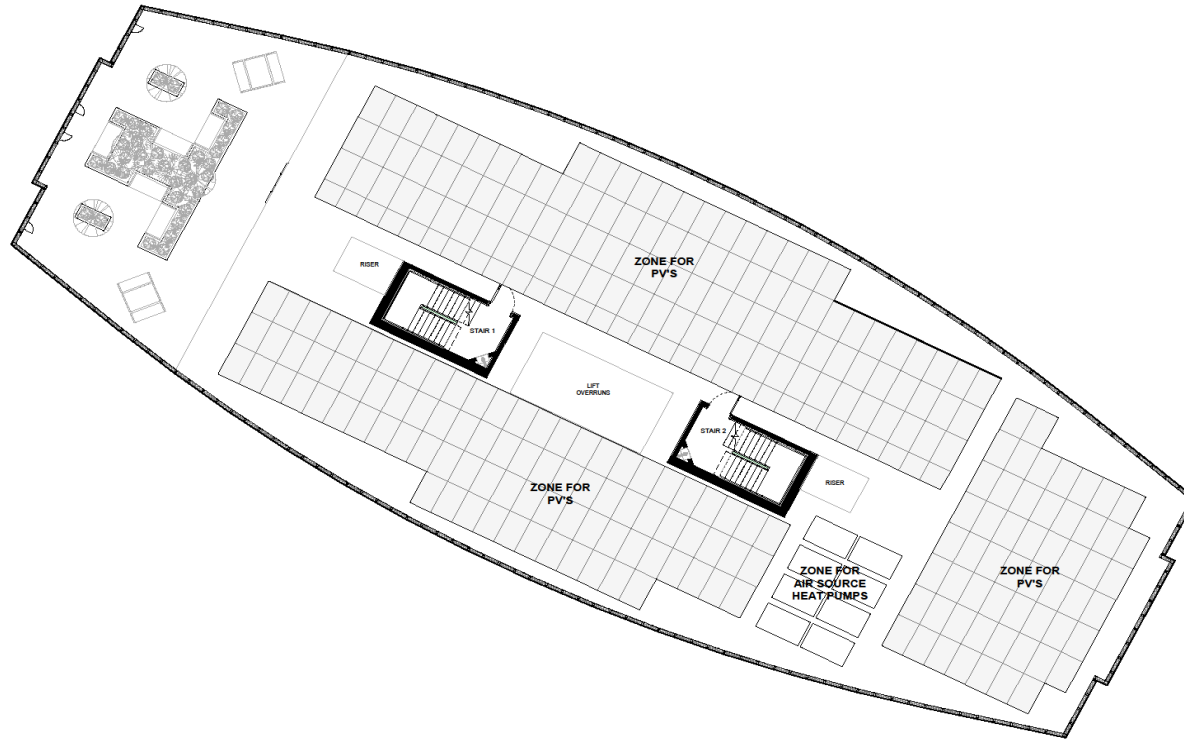
NICK BROWN :ARCHITECTS

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n@nickbrownarchitects.com
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© Nick Brown Architects Ltd 2013

// Planning

PROJECT	Springwell Gardens II Springwell Road, Leeds	DATE	10/06/22
TITLE	Proposed Floorplan level 29	SCALE	1 : 100
DESIGNED BY	2016-119	APPROVED	LM
DRAWING / DOCUMENT REF.	2016-119-P258-A	VERSION	NB
		PAPER SIZE	A1
		SUPPLY	



Proposed Roof Level
1:100

NOTES

Consultant shall verify all dimensions in this drawing conforming to the scale of this drawing.
 Note: All dimensions shall conform to BS 4800:2016. The drawing is for information only and shall not be used for construction purposes.
 Any third party shall be liable for any errors in this drawing. The drawing is for information only and shall not be used for construction purposes.
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 The drawing is for information only and shall not be used for construction purposes.

0 1 2 5 10 m

Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour

C	July 2023 Planning Approval	26/07/23
B	W022 Mitigation Arrangements & Air Source Heat Pumps	22/02/23
A	Roof Plan Update to 945m2 of PV panels	17/03/23

citylife

CLIENT

NICK BROWN :ARCHITECTS

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// Planning

PROJECT	Springwell Gardens II Springwell Road, Leeds	DATE	10/06/22
SCALE	1:100		
TITLE	Proposed Floor Plan_Roof	VERSION	LM
		DATE	NE
WAL PROJECT REF	2016-119	PANEL NO	A1
REVISION / DOCUMENT REF.	2016-119-P259-C		

7.15 POLICY H10: PART M4(3)

PART M4(3)

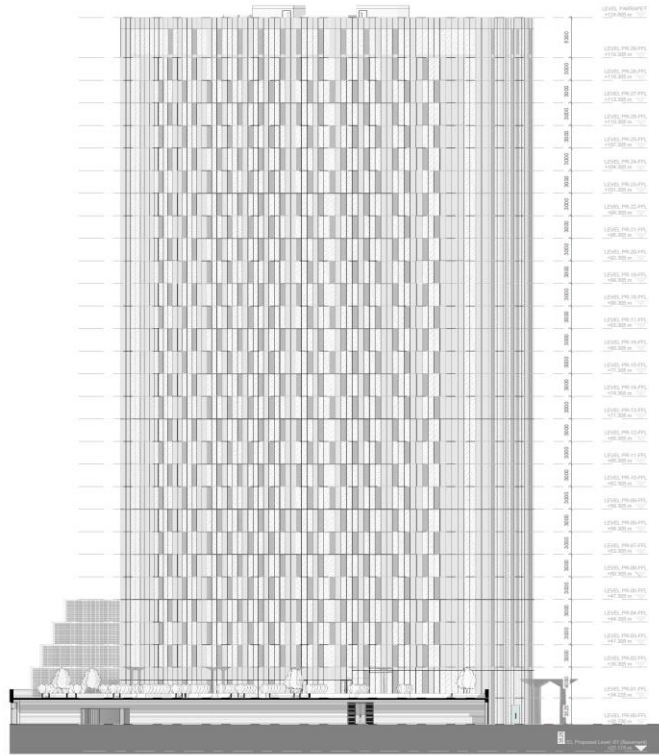
The proposal provides 8 wheelchair accessible apartments; apartment 02 on floor levels 18-25 (unit 02 highlighted blue)

This equates to over 2.0% provision.

KEY

 - PART M4(3) APARTMENTS





North West Elevation
1 : 200

NOTES

1. This drawing is a reproduction of the original drawing and is not to be used for any other purpose without the written consent of the author.

2. The author is not responsible for any errors or omissions in this drawing.

3. The author is not responsible for any damage or injury caused by the use of this drawing.

4. The author is not responsible for any loss of profit or business caused by the use of this drawing.

5. The author is not responsible for any other consequences of the use of this drawing.

Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour



REFER TO DESIGN & ACCESS STATEMENT FOR MATERIALS

C 2016-119 Planning Approval 20/05/22
 B 2016-119 Planning Approval 16/05/22
 A 2016-119 Planning Approval 02/05/22



NICK BROWN ARCHITECTS

100% LOCAL
 100% SKILLED
 100% COMMITTED

100% LOCAL
 100% SKILLED
 100% COMMITTED

100% LOCAL
 100% SKILLED
 100% COMMITTED

// Planning

PROJECT	10/09/22
Springwell Gardens II	As indicated
Springwell Road, Leeds	As indicated
NO.	1.1
North West Elevation	1.1
DATE	10/09/22
2016-119	AL
2016-119-P270-C	

NOTE
 This drawing is intended to be used in conjunction with the Design and Access Statement and the Planning Application. It is not to be used for any other purpose without the prior written consent of the Architect.

0 5 10 20m

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ELEVATION KEY

REFER TO DESIGN & ACCESS STATEMENT FOR MATERIALS

Phase 1 - Springwell Gardens I

South West Elevation
 1 / 200

LEGEND

C	City Life Planning & Design	04/01/22
D	City Life Planning & Design	04/01/22
A	City Life Planning & Design	04/01/22

REVISED

citylife

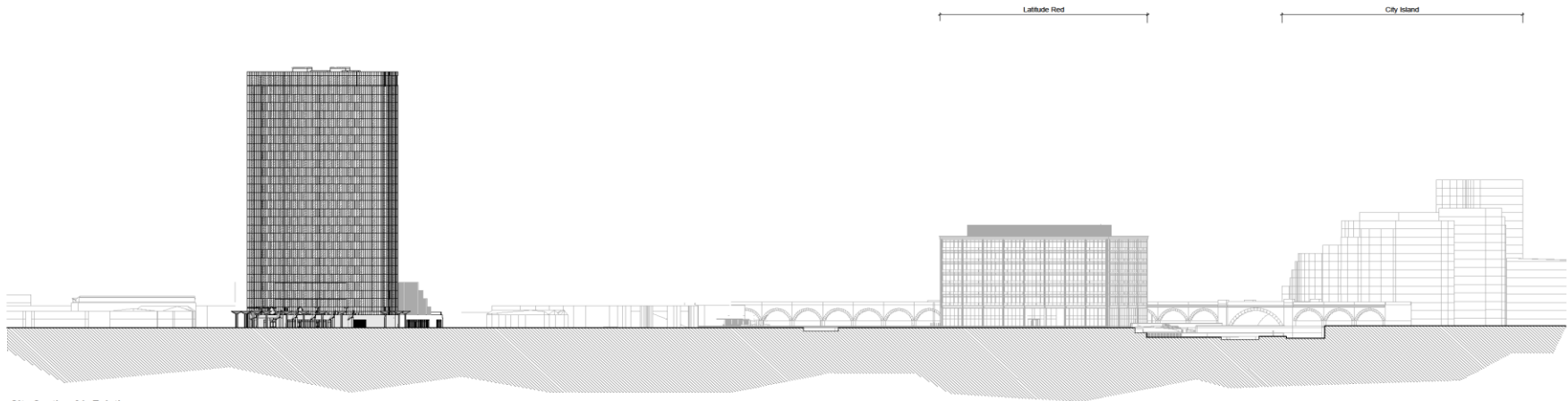
CLIENT

NICK BROWN ARCHITECTS
 Nick Brown Architects Ltd
 100-102 The Arcade
 Leeds LS1 2JF
 0113 244 1111
 www.nickbrownarchitects.com
 @NickBrownArchitects Ltd 2018

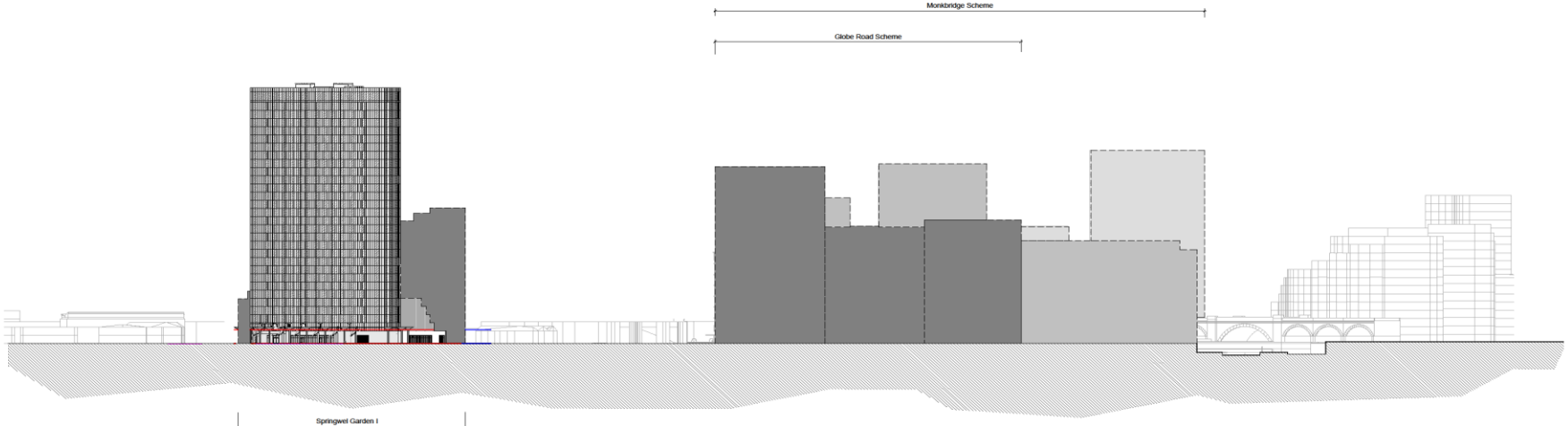
// Planning

PROJECT	Springwell Gardens II	10/20/22
LOCATION	Springwell Road, Leeds	As indicated
VIEW	South West Elevation	LM
SCALE	1:200	LM
DATE	2018-11-0	NI
DESIGNER	AT	LM

2016-119-P273-C



Site Section 01- Existing
1:100



Site Section 01- Proposed
1:100

SECTION KEY

Scale: 0 5 10 20 50 m

citylife

NICK BROWN ARCHITECTS

Project Information:

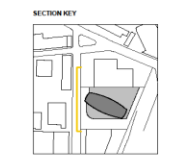
Project Name	Springwell Gardens II
Client	Leeds City Council
Location	Springwell Road, Leeds
Site Section 01	1:100
Date	2016-11-19
Drawn by	AJ
Checked by	MB

Revision:

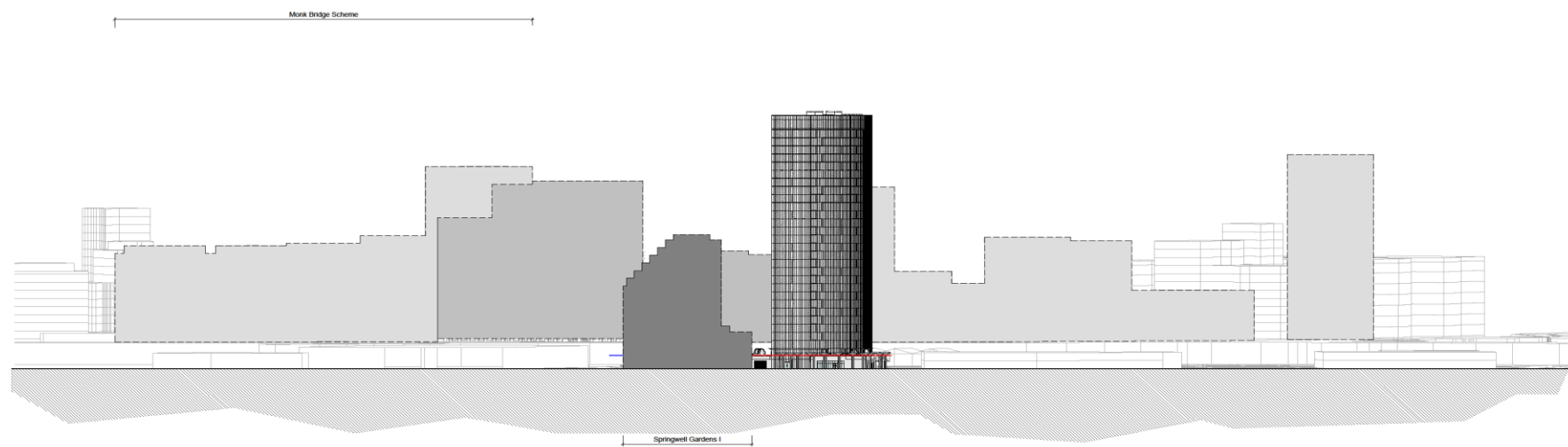
REV	DATE	DESCRIPTION
01	T06/22	As indicated
02	AS	As indicated
03	13/8	As indicated
04	18/8	As indicated
05	20/8/21	As indicated

Project Reference: 2016-119-P276-C

Notes:
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3. The drawings are the property of Nick Brown Architects and shall remain their property.
4. No part of these drawings may be reproduced without the written permission of Nick Brown Architects.



Site Section 02- Existing
1:500



Site Section 02- Proposed
1:500

C: All 2022 Planning schemes 2022/23
A: All 2022 Planning schemes 14.06.22
A: All 2022 Planning schemes & All 2022 Road Works 20.02.22



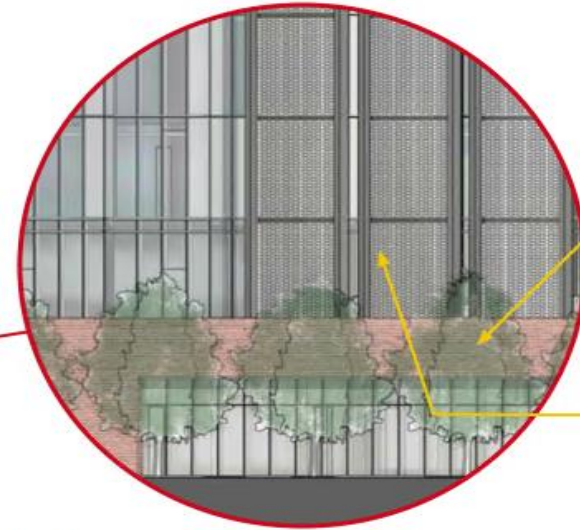
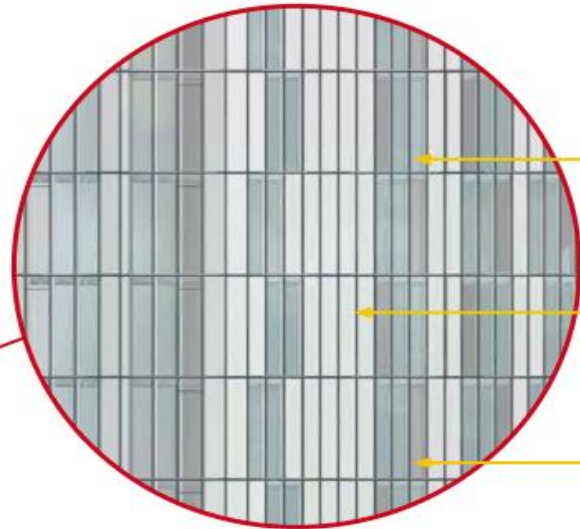
NICK BROWN ARCHITECTS
100, The Arcade, Leeds, LS2 9PL
0113 244 0000
www.nickbrownarchitects.com
© Nick Brown Architects Ltd 2016

// Planning

REVISION	DATE
Springwell Gardens II	TU05/22
Springwell Road, Leeds	As indicated
Site Section 02	1/21
2016-119	1/21
2016-119	A0
2016-119-P277-C	

5.9 MATERIALITY - ELEVATIONS

PROPOSED NORTH EAST ELEVATION - MATERIALITY



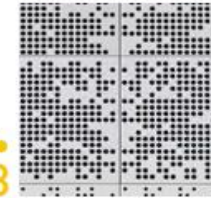
MATERIAL PRECEDENTS



1
UNITISED CURTAIN WALLING SYSTEM, HERMETICALLY SEALED DOUBLE GLAZED UNITS, FLOOR TO CEILING, BARRIER GLASS TO INTERNAL PANE.



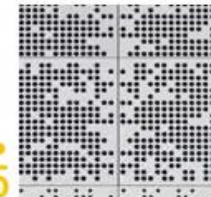
2
FACADE - HERMETICALLY SEALED DOUBLE GLAZED UNIT, WHITE ENAMELLED FINISH TO INNER PANE, ENCAPSULATED INSULATION TO REAR



3
FACADE - PPC ALUMINIUM WHITE PERFORATED VENTILATION PANEL



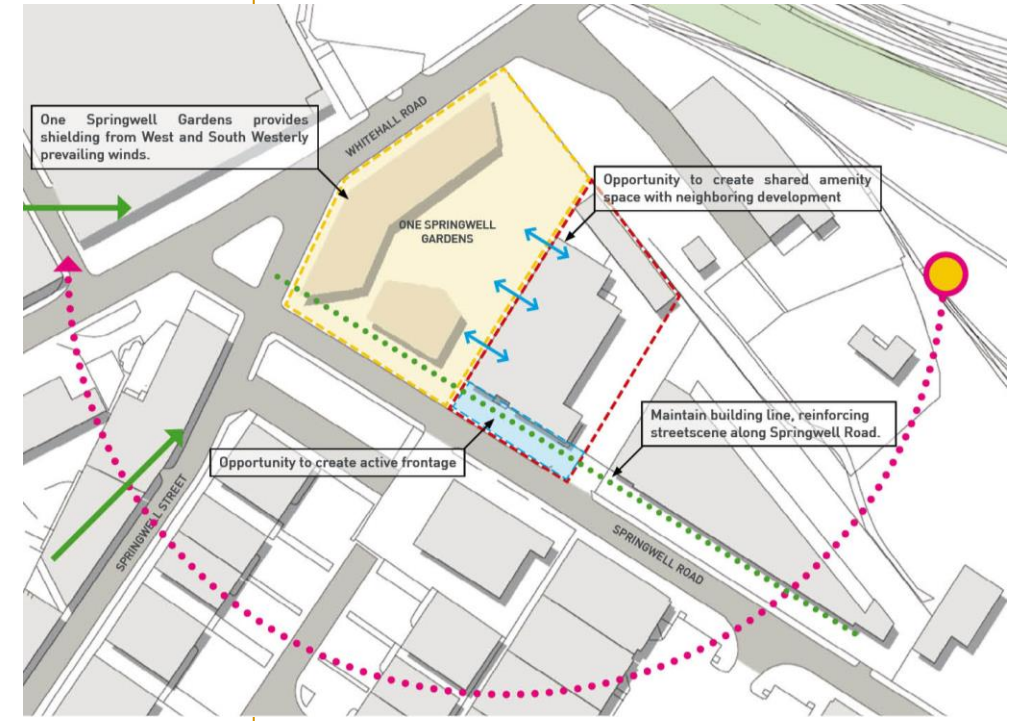
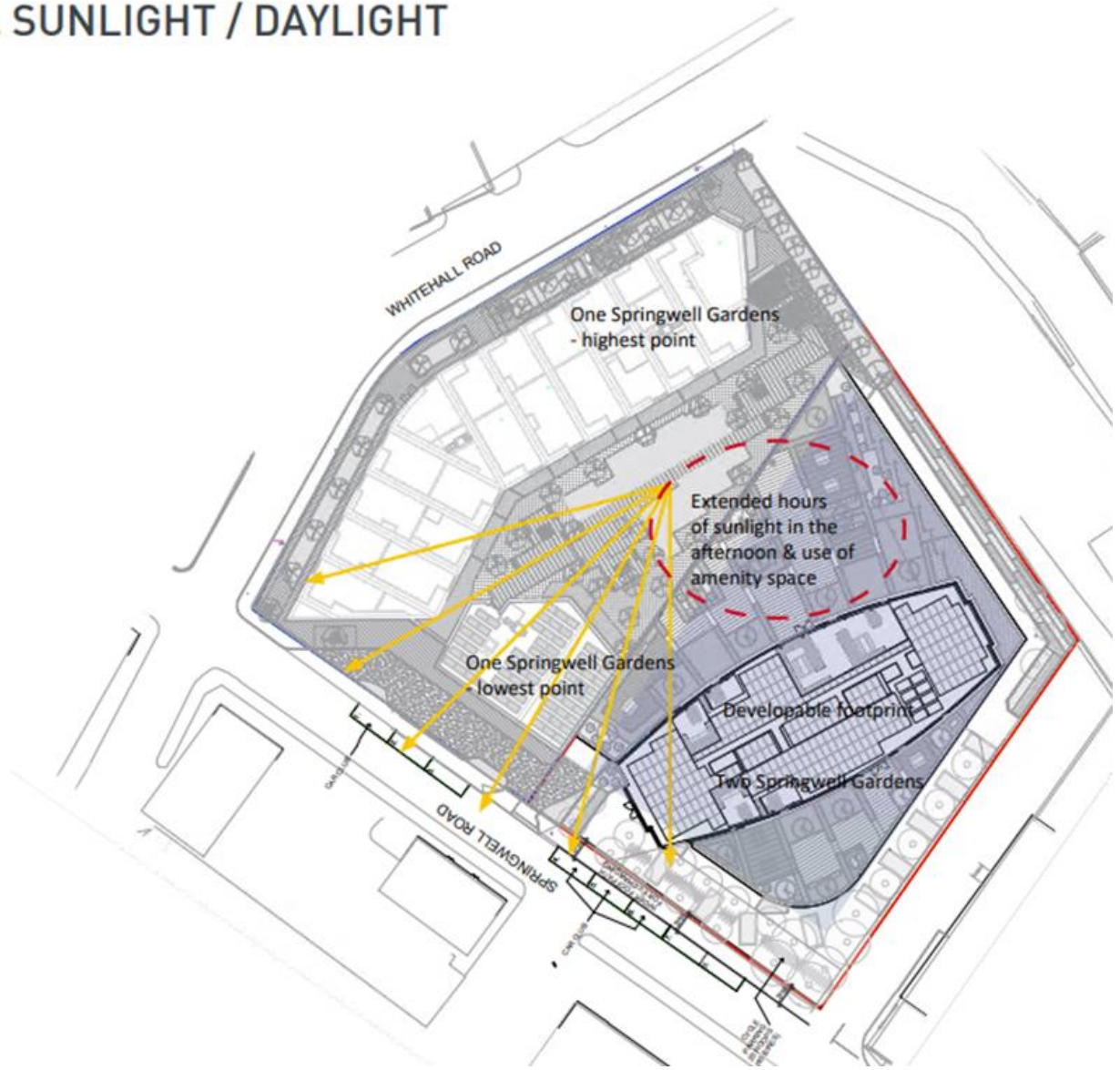
4
PLINTH - RED BRICK TO MATCH ONE SPRINGWELL GARDENS

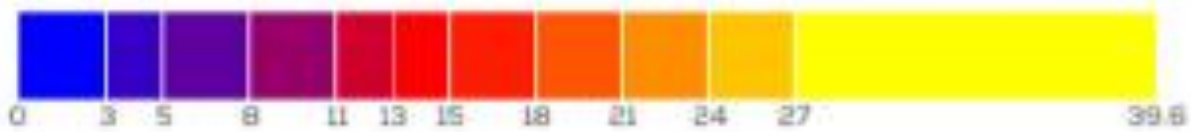
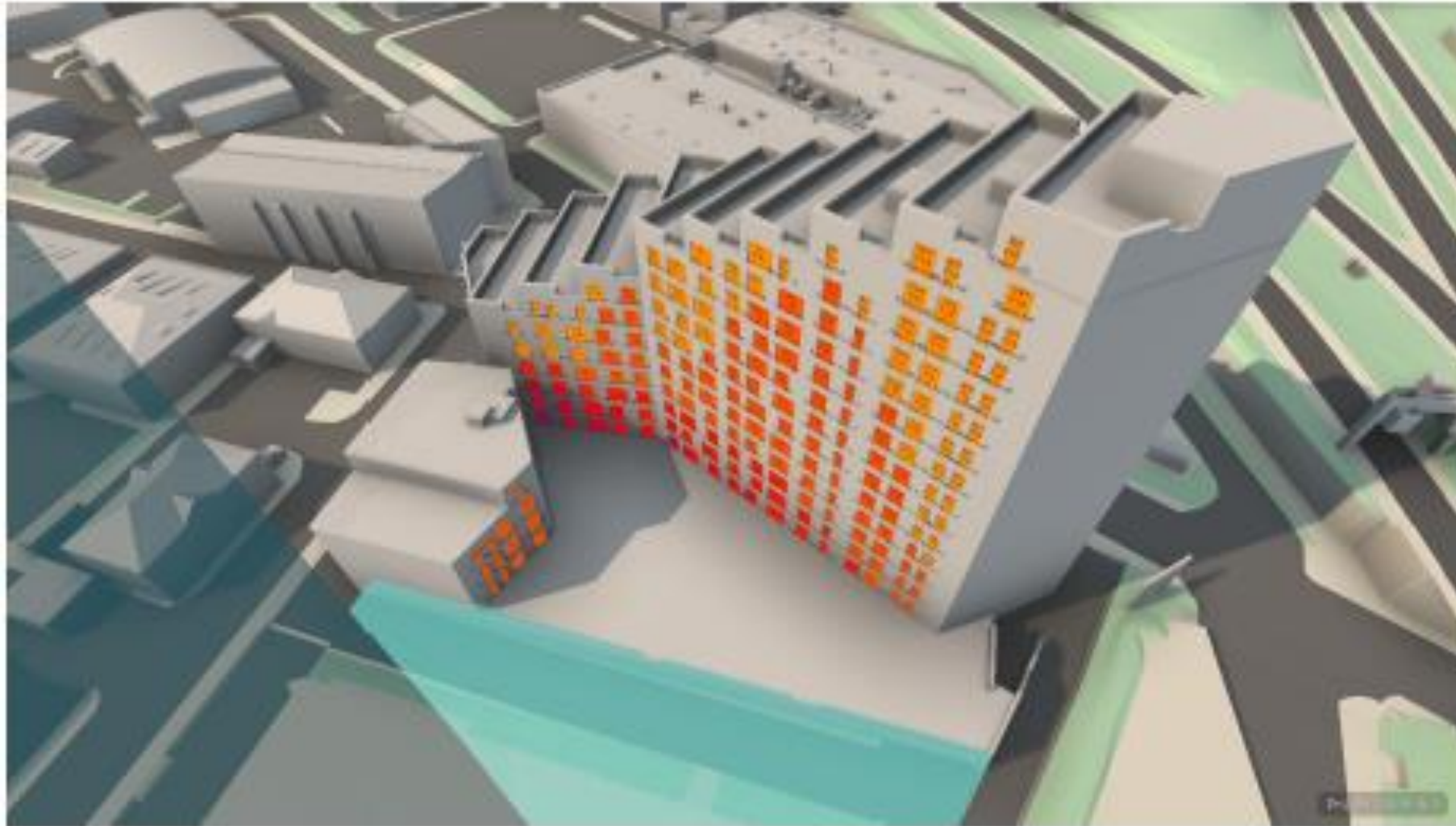


5
FACADE - PPC ALUMINIUM WHITE PERFORATED VENTILATION PANEL TO WIND MITIGATION SCREENS; CONTINUITY OF DETAIL TO ENSURE THAT WIND MITIGATION APPEARS PART OF THE BUILDING.



1.4 SUNLIGHT / DAYLIGHT



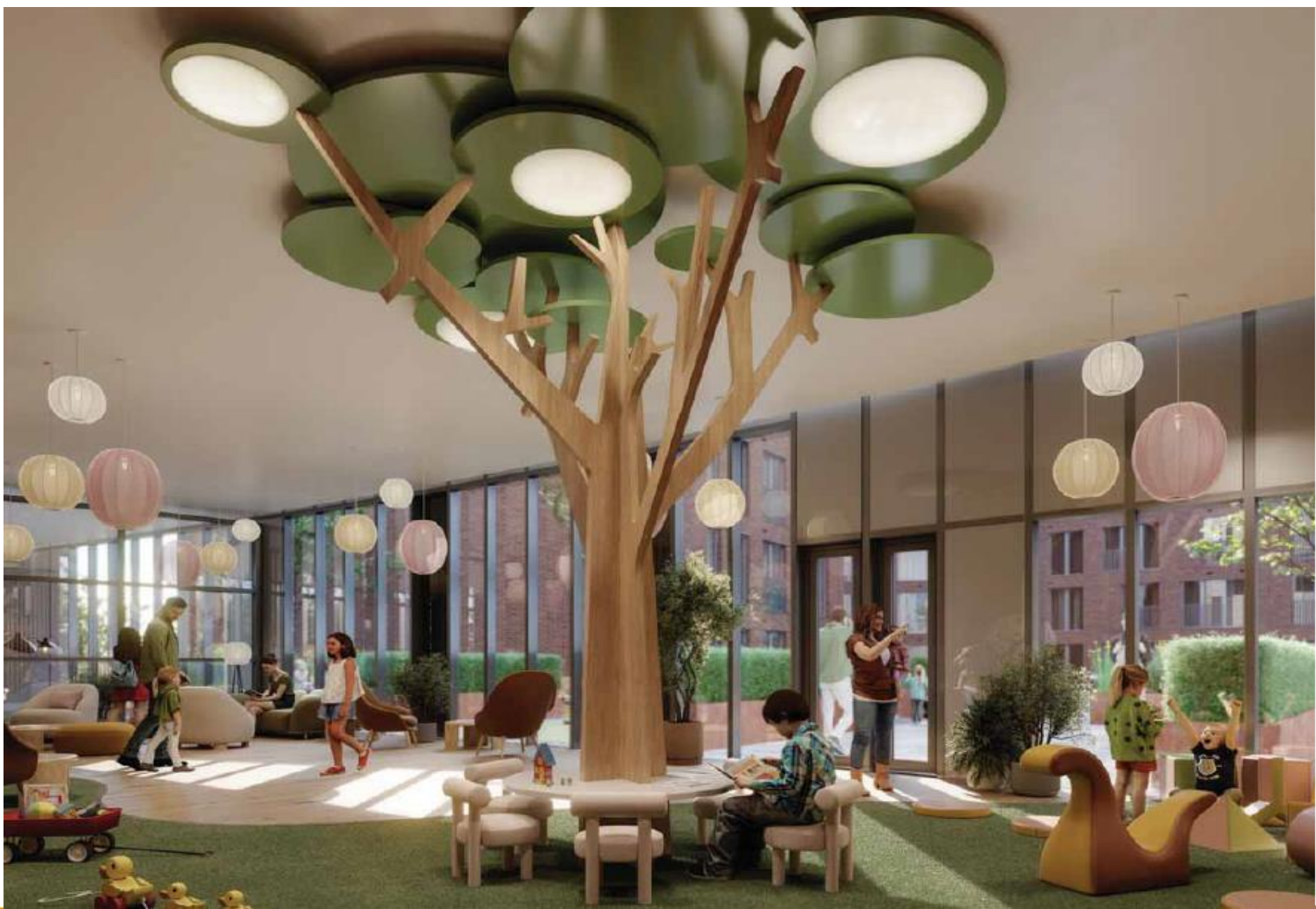


















APPLICATION: 23/05968/S106

PROPOSAL: Application under S106A for the modification or discharge of Planning Obligations pursuant to Section 106A of the Town and Country Planning Act 1990 Application to vary the existing S106 Agreement (S106) to application 18/01501/OT to remove the build to rent /

PRS covenant

ADDRESS:

Land At Former Airedale Mills

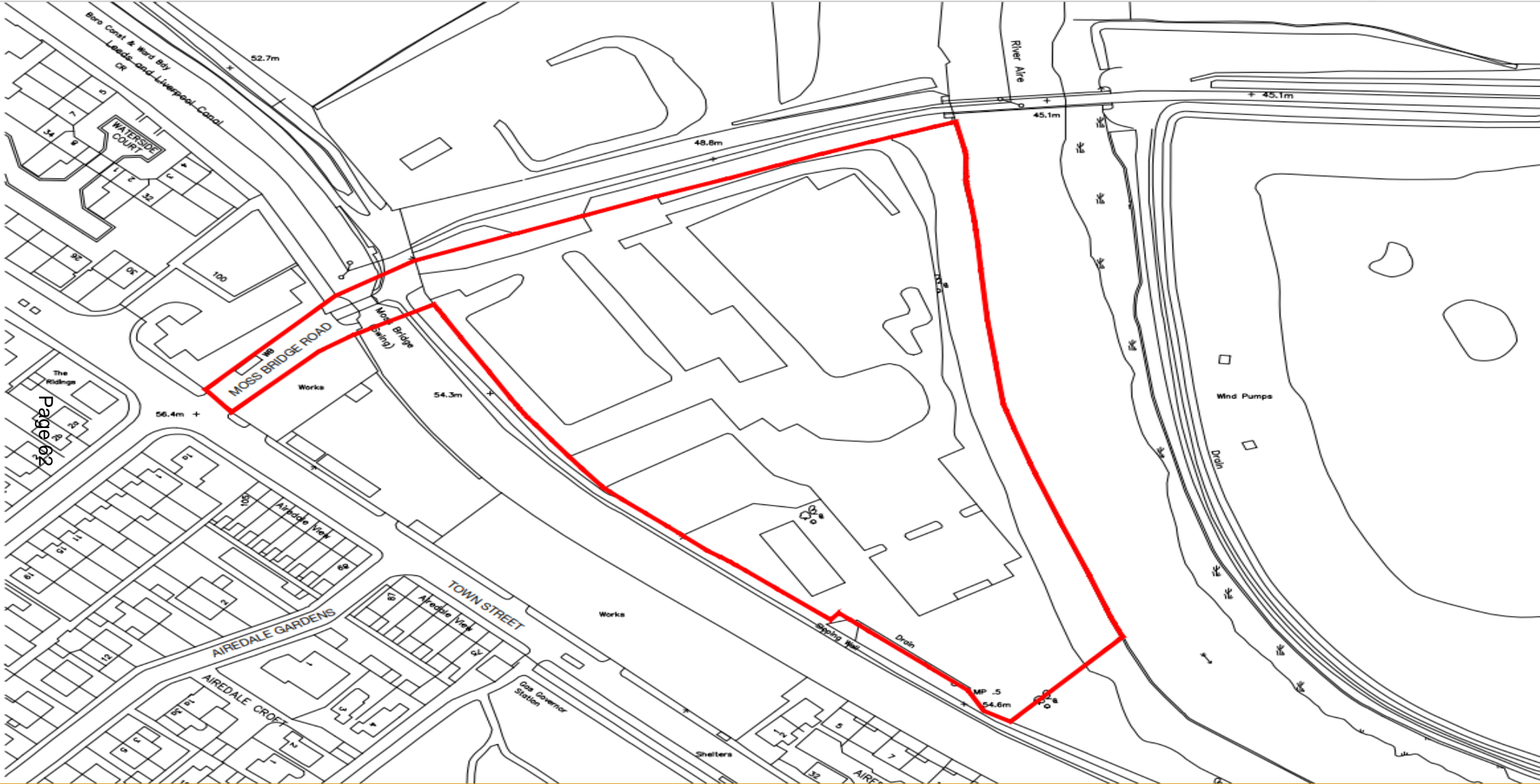
Moss Bridge Works

Town Street

Rodley

Leeds









SOUTH & WEST PLANS PANEL

THURSDAY 28th September 2023

END OF PRESENTATION

Page 65



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